GENERAL NOTES THE SITE SHOWN HEREON IS PART OF PARCEL 121/27 AS SHOWN ON ASSESSMENT AND TAXATION PLAT #3457-X RECORDED AMONG THE RECORDS OF OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL DISTRICT RECORDS AND VERIFIED IN THE FIELD IN SO FAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CORRECTION BY THE OFFICE OF THE SURVEYOR. A FULL BOUNDARY KCI#4[△] SURVEY FOR THE TRACT LINES OF PARCEL 121/27 WAS NOT PERFORMED. HORIZONTAL DATUM FOR THIS SURVEY, INCLUDING COORDINATES AND BEARINGS THAT MAY BE SHOWN, IS REFERENCED TO THE GRID MERIDIAN ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM NAD83(2011) AND OBTAINED FROM GPS SURVEY REFERENCED TO THE LEICA SMARTNET (RTK/RTN) NETWORK. ELEVATIONS AND CONTOURS SHOWN HEREON ARE BASED IN THE NORTH AMERICAN DATUM OF 1988 (NAVD88) AS AS ESTABLISHED BY GPS SURVEY AND VERIFIED IN THE FIELD (WITH APPROPRIATE CONVERSIONS) TO DC BENCHMARKS AND OTHER ONSITE CONTROL BY INDICATIONS OF UTILITY SERVICES SHOWN HEREON ARE BY ABOVE GROUND EVIDENCE ONLY. NO UNDERGROUND DESIGNATION WAS PERFORMED FOR THIS SURVEY. PROVIDED PLANS WERE USED TO CONNECT SOME STORM AND SANITARY SEWER SYSTEMS. EX. 18" RCP EX. SD THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MAY UNCOVER EASEMENTS OR OTHER RESTRICTIONS OF RECORD AFFECTING THE SUBJECT 160' PER RECORD, SEE TRANSFER OF JURISDICTION PLAT IN SUBDIVISION BOOK 136 PAGE 54 EX. INLET NO INFORMATION FOR AN ESTABLISHED RIGHT OF WAY FOR 1ST STREET ALONG THE WESTERN BOUNDARY WAS FOUND. EX. CONCRETE WALK \Box TRANS. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" 1-800-257-7777 AT LEAST FIVE 5 WORKING DAYS PRIOR TO STARTING ANY WORK. **MANHOLE** OBSTRUCTIONS SHOWN ON THIS DRAWING ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. KCI TECHNOLOGIES, INC. DOES NOT WARRANT OR <_S 89°57′57″ € GUARANTEE THE CORRECTNESS OR THE COMPLETENESS OF THE INFORMATION EX. METAL FENCE GIVEN. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION. IN THE EVENT THAT INFORMATION IS IN CONFLICT WITH INFORMATION OUTLINED, THE CONTRACTOR SHALL IMMEDIATELY BRING IT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING ANY WORK. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN HEREON BEFORE STARTING ANY WORK ON THESE PLANS. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR THE COST OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN. EX. INLET ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE CONTRACT (4) 5" SCH. 80 EXISTING COMMUNICATION DOCUMENTS. DUCT BANK-* EX. 27"RCP CONTRACTOR SHALL ADJUST ALL FRAMES, GRATES AND COVERS OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE CONTRACT TO THE PROPOSED GRADES AS **EXISTING MULTI-LEVEL** PARKING STRUCTURE THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AT 327 PARKING SPACES ு EX. INLE MH (CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT AND ACCESSORIES NOT REMOVED BY LOCAL UTILITY COMPANIES, OR SPECIFIED TO BE REMOVED BY OWNER. CONTRACTOR SHALL INSTALL SEDIMENT CONTROLS PRIOR TO BEGINNING ANY WORK AND MAINTAIN SEDIMENT CONTROLS THROUGHOUT THE ENTIRE DURATION OF DEMOLITION AND CONSTRUCTION ACTIVITIES. GENERATOR ON PAD CÓMMUNICATION DUCT BANK -TRANSFORMER ON PAD ALL EXCAVATION SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IN THE EVENT THAT A PORTION OF A UTILITY IS TO BE REMOVED THE CONTRACTOR SHALL TERMINATE AND CAP TO THE LIMITS INDICATED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO ÉX. ASPHALT PARKING LO COMPLETE SUCH WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING EX. UNDERGROUND ELECTRIC MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES EX.\NLET CONTRACTOR SHALL INSTALL A TEMPORARY CONSTRUCTION FENCE AROUND THE CONSTRUCTION AREA WHILE MAINTAINING ACCESS TO THE ADJACENT PUBLIC SIDEWALKS AND DRIVEWAYS. CONTRACTOR SHALL SECURE THE CONSTRUCTION AREA AT THE END OF EACH EX. CONÇRETE WALK WORKING DAY AND WILL INSPECT THE SECURITY FENCING TO INSURE ITS EX. BOLLARD HOLDERS BOLLARD HOLDERS INTEGRITY. CONC. C. & G. KCI#3 [/]° EX. UNDERGROUND ELECTRIC. EXISTING LOCATION FROM DRAWINGS DATED 4-8-11/. CONTRACTOR SHALL TEST PIT FOR DEPTH AND LOCATION ALL CONSTRUCTION DEBRIS WILL BE REMOVED FROM THE SITE AND TAKEN TO AN APPROVED, PERMITTED DISPOSAL FACILITY. NO RUBBLE IS TO BE LEFT ON CONTRACTOR SHALL INSPECT AND TAKE PICTURES OF ADJACENT BUILDING WALLS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ON THE SITE. EXISTING FENCE-WALL CRACKS (IF ANY) WILL BE NOTED. - \overline{W} \overline{W} \overline{W} \overline{W} \overline{W} \overline{W} EX. 16" WATER CONTRACTOR SHALL CONTINUALLY MONITOR THE WALLS OF THE ADJACENT BUILDINGS FOR ANY SIGNS OF STRUCTURAL DISTRESS. IF ANY DISTRESS IS NOTED, CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY OWNER. CONC/C & G N 460,100 CONTRACTOR SHALL NOT EXPOSE, UNDERMINE, OR IMPACT THE ZONE OF CONC. WĄĹK INFLUENCE FOR FOOTINGS AND FOUNDATIONS OF ADJACENT BUILDINGS. CONTRACTOR WILL BE RESPONSIBLE FOR THE COST TO REPAIR ADJACENT BUILDINGS THAT ARE DAMAGED DUE TO HIS OPERATION. EX. GUARD BUILDING-CONTRACTOR SHALL PROVIDE THE NECESSARY MEANS TO CONTROL DUST AND MAINTAIN DISTRICT OF COLUMBIA AIR QUALITY STANDARDS DURING THE DEMOLITION AND REMOVAL OF BUILDING DEBRIS AND THE NEW CONSTRUCTION. CONTRACTOR SHALL SAWCUT EXISTING PAVING TO MINIMIZE DAMAGE TO EXISTING \diagup FLAGPOLE \diagdown PAVING REMAINING. CONTRACTOR SHALL REMOVE EXISTING CURBS & CONCRETE WALKS TO THE

EX. SURVEY CONTROL EX. SECURITY CAMERA EX. ROOF DRAIN EX. BOLLARD EX. SPRINKLER HEAD EX. BOLLARD LIGHT EX. GROUND LIGHT EX. FIRE HYDRANT EX. WATER MANHOLE EX. DROP INLET EX. CATCH BASIN EX. STORM MANHOLE EX. UTILITY POLE EX. LIGHT POLE EX. ELECTRIC MANHOLE EX. HANDHOLE EX. TELEPHONE PED EX. TRANSFORMER EX. ELEC BOX EX. POWER POLE EX. SEWER MANHOLE EX. WATER VALVE EX. DROP INLET EX. CATCH BASIN **EX. STORM MANHOLE** EX. LIGHT POLE TREE SYMBOLS (TYP.) — – – — PROPERTY LINE _____ ss____ ss____ **EX. SEWER** —— sp —— sp —— EX. STORM

— w — w — EX. WATER

— E — E — EX. UNDERGROUND ELECTRIC

SURVEY CONTROL

1309333.41

1308832.35

1308883.33

ELEV DECRIPTION

200.44 REBAR W/CAP

189.71 | REBAR W/CAP

182.49 | REBAR W/CAP

REBAR W/CAP

NORTHING

460424.64

460162.27

460598.98

EX. INLET

BIO POND

FISHER HOUSE

2-STORY BRICK

ZEX. INLET

EX. INLET

EX. INLET

01 EXISTING CONDITIONS PLAN SCALE: 1" = 30'

GRAPHIC SCALE (IN FEET) 1 inch = 30 ft.

CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES

SHALL BE FULLY RESPONSIBLE FOR THE COST OF ANY AND ALL DAMAGES

TEMPORARY CONSTRUCTION FENCING SHALL REMAIN IN PLACE UNTIL THE

WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATED AND

SHOWN HEREON BEFORE STARTING ANY WORK ON THESE PLANS. CONTRACTOR

100% Submission 2/16/15 95% Submission 8/28/14 8/7/14 65% Submission 550 Township Line Road, Suite 100 35% Submission Blue Bell, PA 19422

NEAREST JOINT. NO PATCHING WILL BE PERMITTED.

PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN.

COMPLETION OF THE PROJECT.

CONSULTANTS: ARCHITECT Melville Thomas Architects, Inc. 600 Wyndhurst Avenue, Suite 315 Baltimore, MD 21210 STRUCTURAL ENGINEER Timothy Haahs & Associates, Inc.

PARKING CONSULTANT Timothy Haahs & Associates, Inc. 550 Township Line Road, Suite 100 Blue Bell, PA 19422 **MEP ENGINEER** DCS Infrastructure, Inc. 3249 Route 112, Suite 1B

Medford, NY 11763

COST ESTIMATOR DMS Construction Consulting Services, Inc. 5550 Sterrett Place, Suite 300 Columbia, MD 21044 **CIVIL ENGINEER** KCI Technologies, Inc. 936 Ridgebrook Road

Sparks, MD 21152

SEAL:

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ARCHITECT/ENGINEERS: Melville Thomas Architects, Inc. ARCHITECTURE & PLANNING 600 Wyndhurst Ave, Suite 315 Baltimore, MD 21210

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SCIENTISTS 936 Ridgebrook Road Sparks, MD 21152 PHONE: (410) 316-7800 Fax: (410) 316-7817 TECHNOLOGIES www.kci.com

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Drawing Title

EXISTING CONDITIONS PLAN Approved: Project Director

Project Title Project Number VA MEDICAL CENTER 688-345 EXPAND VISITOR/PATIENT **Building Number** PARKING GARAGE - PHASE 1 Drawing Number Location 50 IRVING ST. N.W. WASHINGTON, D.C. CD1.0 Checked C.T.B. Dwg. 02 of 89

Office of Construction and Facilities Management Department of Veterans Affairs Department of

VA FORM 08-623

GENERAL NOTES DEDUCT ALTERNATES (ALT.) THE SITE SHOWN HEREON IS PART OF PARCEL 121/27 AS SHOWN ON ASSESSMENT AND TAXATION PLAT #3457-X RECORDED AMONG THE RECORDS OF OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL DISTRICT RECORDS AND VERIFIED IN THE FIELD IN SO FAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA accent lighting as shown on Drawing(s) 01/A2.4, 02/A2.4, 11/A5.2 ARE SUBJECT TO CORRECTION BY THE OFFICE OF THE SURVEYOR. A FULL BOUNDARY and 02/E1.4. SURVEY FOR THE TRACT LINES OF PARCEL 121/27 WAS NOT PERFORMED. HORIZONTAL DATUM FOR THIS SURVEY, INCLUDING COORDINATES AND BEARINGS THAT MAY BASE: Elevator finishes as shown on the drawings. BE SHOWN, IS REFERENCED TO THE GRID MERIDIAN ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM NAD83(2011) AND OBTAINED FROM GPS SURVEY REFERENCED TO THE LEICA SMARTNET (RTK/RTN) NETWORK. ELEVATIONS AND CONTOURS SHOWN HEREON ARE BASED IN THE NORTH AMERICAN DATUM OF 1988 (NAVD88) AS AS ESTABLISHED BY GPS SURVEY AND VERIFIED IN THE FIELD (WITH APPROPRIATE CONVERSIONS) TO DC BENCHMARKS AND OTHER ONSITE CONTROL BY DEDUCT ALT. #3 - SITE IMPROVEMENTS INDICATIONS OF UTILITY SERVICES SHOWN HEREON ARE BY ABOVE GROUND EVIDENCE BASE: All site work shown on the drawings. ONLY. NO UNDERGROUND DESIGNATION WAS PERFORMED FOR THIS SURVEY. PROVIDED PLANS WERE USED TO CONNECT SOME STORM AND SANITARY SEWER SYSTEMS. 01/CS3.1 and CS3.2. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MAY UNCOVER EASEMENTS OR OTHER RESTRICTIONS OF RECORD AFFECTING THE SUBJECT 160' PER RECORD, SEE TRANSFER OF JURISDICTION PLAT IN SUBDIVISION BOOK 136 PAGE 54 EX. INLET NO INFORMATION FOR AN ESTABLISHED RIGHT OF WAY FOR 1ST STREET ALONG THE DEDUCT: Provide only the landscape work and site furnishings WESTERN BOUNDARY WAS FOUND. shown on Drawing(s) 01/LP7.0 and LP7.1. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" 1-800-257-7777 AT LEAST FIVE 5 WORKING DAYS PRIOR TO STARTING ANY WORK. drawings and hardware schedule. OBSTRUCTIONS SHOWN ON THIS DRAWING ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. KCI TECHNOLOGIES, INC. DOES NOT WARRANT OR ∖S 89°57'57" E GUARANTEE THE CORRECTNESS OR THE COMPLETENESS OF THE INFORMATION GIVEN. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN 01/E2.1, 01/E2.4 and 02/E2.4. SATISFACTION. IN THE EVENT THAT INFORMATION IS IN CONFLICT WITH INFORMATION OUTLINED, THE CONTRACTOR SHALL IMMEDIATELY BRING IT TO THE ATTENTION OF DEDUCT ALT. #6 - CARD READERS EX. HEDGES TO BE THE ARCHITECT PRIOR TO STARTING ANY WORK. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN LIGHT (TYP) * HEREON BEFORE STARTING ANY WORK ON THESE PLANS. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR THE COST OF ANY AND ALL DAMAGES WHICH OCCUR Drawing(s) 02/E2.2, 01/E2.4 and 02/E3.2. AS A RESULT OF A FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN. X. INLET DEDUCT ALT. #7 - BARRIER CABLE SYSTEM ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE CONTRACT (4) 5" SCH. 80 EXISTING DOCUMENTS. COMMUNICATION DUCT BANK----EX. MILET on Drawing(s) A2.1, A2.2 and 06/A2.4. EX. 27"RCP CONTRACTOR SHALL ADJUST ALL FRAMES, GRATES AND COVERS OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE CONTRACT TO THE PROPOSED GRADES AS **EXISTING MULTI-LEVEL** BIO POND PARKING STRUCTURE SECURITY GATES THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AT 327 PARKING SPACES EX. SIDEWALK TO BE REMOVED MH @ CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING MECHANICAL AND EX. INLET ELECTRICAL EQUIPMENT AND ACCESSORIES NOT REMOVED BY LOCAL UTILITY EX. PAVING TO HAVE COMPANIES, OR SPECIFIED TO BE REMOVED BY OWNER. DEDUCT ALT. #9 - SITE FENCING MILL & OVERLAY BASE: All site fencing shown on these drawings. CONTRACTOR SHALL INSTALL SEDIMENT CONTROLS PRIOR TO BEGINNING ANY WORK AND MAINTAIN SEDIMENT CONTROLS THROUGHOUT THE ENTIRE DURATION (4) 5" SCH. 80 EXISTING OF DEMOLITION AND CONSTRUCTION ACTIVITIES. GENERATOR ON PAD CÓMMUNICATION DUCT BANK -TRANSFORMER ON PAD DEDUCT ALT. #10 - INTERIOR GARAGE BARRIER FENCING ALL EXCAVATION SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IN THE EVENT THAT A PORTION OF A UTILITY IS TO BE REMOVED THE CONTRACTOR SHALL TERMINATE AND CAP TO THE LIMITS INDICATED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS. S2.1 and 06/S3.3. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY DEDUCT ALT. #11 - SECURITY CAMERAS ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS BASE: Security cameras shown on the drawings. PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO FISHER HOUSE COMPLETE SUCH WORK. 2-STORY BRICK IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING DEDUCT ALT. #12 - LED LIGHTING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION BASE: LED lighting as shown on the drawings. FROM THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS DEDUCT ALT. #13- SECURITY BOOTH OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR BASE: Security booth as shown on the drawings. ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES Drawing(s) A4.3, 02/E1.4, 03/E2.2 and 01/E2.3. CONTRACTOR SHALL INSTALL A TEMPORARY CONSTRUCTION FENCE AROUND THE CONSTRUCTION AREA WHILE MAINTAINING ACCESS TO THE ADJACENT PUBLIC REMOVED OR FILLED EX. INLET DEDUCT ALT. #14 - PARKING TIERS SIDEWALKS AND DRIVEWAYS. WITH FLOWABLE FILL BASE: 2-1/2 new tiers as shown on the drawings. CONTRACTOR SHALL SECURE THE CONSTRUCTION AREA AT THE END OF EACH WORKING DAY AND WILL INSPECT THE SECURITY FENCING TO INSURE ITS INTEGRITY. 02/P1.3, 03/FP1.3, 02/E1.6, 02/E2.4 and 02/E3.4. ALL CONSTRUCTION DEBRIS WILL BE REMOVED FROM THE SITE AND TAKEN TO EX. INLET AN APPROVED, PERMITTED DISPOSAL FACILITY. NO RUBBLE IS TO BE LEFT ON REMOVED EX PORTION OF PAVING, CONC. WALK, ĆURB AND CONTRACTOR SHALL INSPECT AND TAKE PICTURES OF ADJACENT BUILDING WALLS GUTTER TO BE PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ON THE SITE. EXISTING FENCE-REMOVED TO THE CONC C. & G. WALL CRACKS (IF ANY) WILL BE NOTED. NEAREST JOINT EX. BOLLARD CONTRACTOR SHALL CONTINUALLY MONITOR THE WALLS OF THE ADJACENT BUILDINGS FOR ANY SIGNS OF STRUCTURAL DISTRESS. IF ANY DISTRESS IS EX. FENCE TO BE EX. HEDGE TO BE NOTED, CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY OWNER. REMOVED N 460,100 CONTRACTOR SHALL NOT EXPOSE, UNDERMINE, OR IMPACT THE ZONE OF INFLUENCE FOR FOOTINGS AND FOUNDATIONS OF ADJACENT BUILDINGS CONTRACTOR WILL BE RESPONSIBLE FOR THE COST TO REPAIR ADJACENT BUILDINGS THAT ARE DAMAGED DUE TO HIS OPERATION. EX. GUARID BUILDING CONTRACTOR SHALL PROVIDE THE NECESSARY MEANS TO CONTROL DUST AND MAINTAIN DISTRICT OF COLUMBIA AIR QUALITY STANDARDS DURING THE DEMOLITION AND REMOVAL OF BUILDING DEBRIS AND THE NEW CONSTRUCTION. CONTRACTOR SHALL SAWCUT EXISTING PAVING TO MINIMIZE DAMAGE TO EXISTING PAVING REMAINING. CONTRACTOR SHALL REMOVE EXISTING CURBS & CONCRETE WALKS TO THE EX. PORTION OF CONC. NEAREST JOINT. NO PATCHING WILL BE PERMITTED. **CURB AND GUTTER TO BE** REMOVED TO THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES NEAREST JOINT SHOWN HEREON BEFORE STARTING ANY WORK ON THESE PLANS. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE COST OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATED AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN. TEMPORARY CONSTRUCTION FENCING SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF THE PROJECT. EX. SEWER —— sd —— sd —— EX. STORM — w — w — EX. WATER 01 DEMOLITION PLAN SCALE: 1" = 30" GRAPHIC SCALE SIDEWALK, CURB AND GUTTER TO BE REMOVED (IN FEET) 1 inch = 30 ft.**Project Title** Drawing Title Project Number SEAL: ARCHITECT/ENGINEERS: CONSULTANTS: Office of **DEMOLITION PLAN** VA MEDICAL CENTER 688-345 EXPAND VISITOR/PATIENT Melville Thomas Architects, Inc. **Building Number COST ESTIMATOR** ARCHITECT **PARKING CONSULTANT** PARKING GARAGE - PHASE 1 Melville Thomas Architects, Inc. Timothy Haahs & Associates, Inc. DMS Construction Consulting Services, Inc. ARCHITECTURE & PLANNING 5550 Sterrett Place, Suite 300 600 Wyndhurst Avenue, Suite 315 550 Township Line Road, Suite 100 SCIENTISTS Baltimore, MD 21210 Blue Bell, PA 19422 Columbia, MD 21044 Approved: Project Director Drawing Number Location 50 IRVING ST. N.W. WASHINGTON, D.C. **CIVIL ENGINEER** STRUCTURAL ENGINEER **MEP ENGINEER** 936 Ridgebrook Road 100% Submission CD1. Sparks, MD 21152 DCS Infrastructure, Inc. KCI Technologies, Inc. Timothy Haahs & Associates, Inc. 8/28/14 PHONE: (410) 316-7800 95% Submission Checked Drawn 550 Township Line Road, Suite 100 3249 Route 112, Suite 1B 936 Ridgebrook Road Fax: (410) 316-7817 600 Wyndhurst Ave, Suite 315 Baltimore, MD 21210 8/7/14 65% Submission TECHNOLOGIES Blue Bell, PA 19422 Medford, NY 11763 Sparks, MD 21152 www.kci.com C.T.B. T: 410.433.4400 F: 410.433.4719 Dwg. 03 of 89 www.mtarx.com VA FORM 08-623

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DEDUCT ALT. #1 - PERFORATED METAL SCREEN WALLS BASE: Perforated metal screen with accent lighting as shown on DEDUCT: Delete perforated metal screen and supporting structure as shown on Drawing(s) 05/A2.1 and 03/A2.2, delete

DEDUCT ALT. #2 - ELEVATOR LOBBY UPGRADES

DEDUCT: Delete exposed aggregate finish on concrete floor as shown in Drawing(s) 01/A3.1, 01/A3.2, 04/A5.2 and 05/A5.2 and substitute smooth trowel finish, delete suspended metal ceilings as shown on Drawing(s) A4.1 and A4.2, provide substitute light fixtures as shown on fixture schedule E0.0 and Drawing(s) A4.1

DEDUCT: Provide only site work shown on the Drawing(s)

DEDUCT ALT. #4 - LANDSCAPE AND SITE FURNISHINGS BASE: All landscape work and site furnishings shown on the

DEDUCT ALT. #5 - AUTOMATIC DOOR OPENING DEVICES BASE: All automatic door opening devices shown on the

DEDUCT: Provide manual door closer as specified in Spec Section(s) 087100. Delete electrical feeds shown on Drawing(s)

BASE: All card readers shown on the drawings and hardware

DEDUCT: Provide manual door locks/latches as specified in Spec Section(s) 087100. Delete electrical feeds shown on

BASE: Barrier cable system as shown on the drawings. DEDUCT: Delete barrier cables at exterior openings as shown

DEDUCT ALT. #8 - CRASH BARRIER, BOLLARDS AND BASE: All crash barriers, bollards, and security gates shown on

DEDUCT: Delete all crash barriers, bollards, and security gates shown on Drawing(s) 01/CS3.0, 04/LP7.1 and 05/LP7.1.

DEDUCT: Delete all site fencing shown on Drawing(s) 01/CS3.0

BASE: All cable type barrier fencing shown on the drawings. DEDUCT: Provide chain link barrier fencing shown on Drawing(s)

DEDUCT: Delete security cameras and appurtenances (conduit, junction boxes, and power) shown on Drawing(s) E3.3, E3.4 and

DEDUCT: Provide substitute light fixtures as shown on fixture schedule E0.0 and as shown on Drawing(s) E1.4, E1.5 and E1.6.

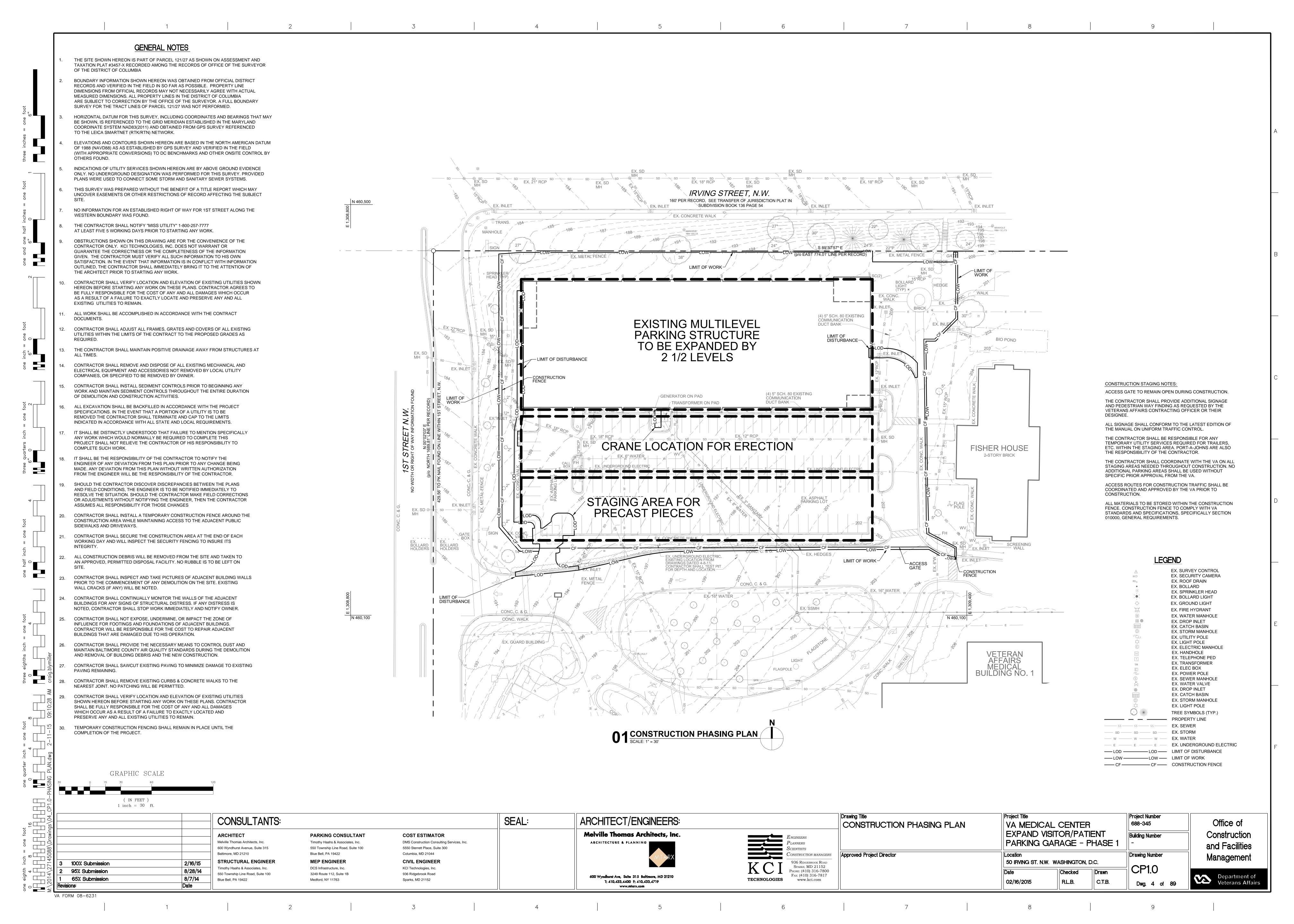
DEDUCT: Delete security booth and appurtenances shown on

DEDUCT: Delete 1/2 tier connecting ramp as shown on Drawing(s) 02/A1.2, 02/A1.6, A2.1, A2.2, 01/S1.5, 02/M1.3,

> EX. SURVEY CONTROL EX. SECURITY CAMERA EX. ROOF DRAIN EX. SPRINKLER HEAD EX. BOLLARD LIGHT EX. GROUND LIGHT EX. FIRE HYDRANT EX. WATER MANHOLE EX. DROP INLET EX. CATCH BASIN **EX. STORM MANHOLE** EX. UTILITY POLE EX. LIGHT POLE EX. ELECTRIC MANHOLE EX. HANDHOLE EX. TELEPHONE PED EX. TRANSFORMER EX. ELEC BOX EX. POWER POLE EX. SEWER MANHOLE EX. WATER VALVE EX. DROP INLET EX. CATCH BASIN EX. STORM MANHOLE EX. LIGHT POLE TREE SYMBOLS (TYP.) PROPERTY LINE EX. UNDERGROUND ELECTRIC APPROXIMATE LIMITS OF MILL AND OVERLAY

> > Construction and Facilities Management

Department of Veterans Affairs



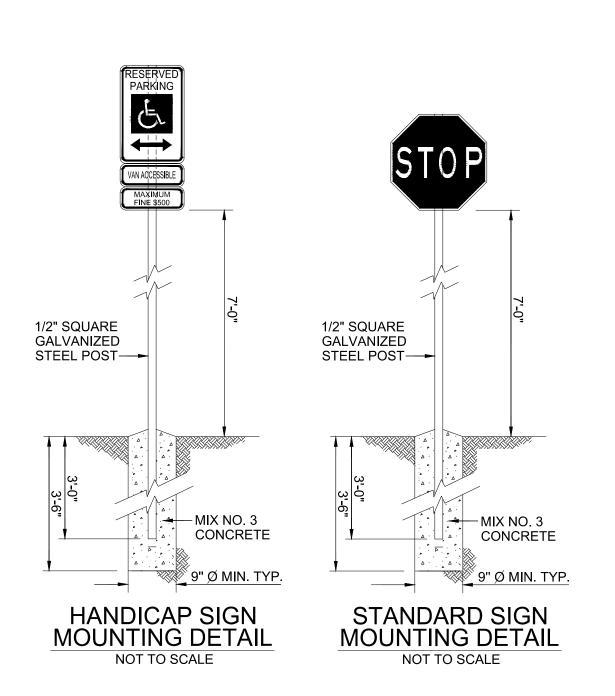
GENERAL NOTES DEDUCT ALTERNATES (ALT.) THE SITE SHOWN HEREON IS PART OF PARCEL 121/27 AS SHOWN ON ASSESSMENT AND TAXATION PLAT #3457-X RECORDED AMONG THE RECORDS OF OFFICE OF THE SURVEYOR DEDUCT ALT. #1 - PERFORATED METAL SCREEN WALLS OF THE DISTRICT OF COLUMBIA BASE: Perforated metal screen with accent lighting as shown on BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL DISTRICT RECORDS AND VERIFIED IN THE FIELD IN SO FAR AS POSSIBLE. PROPERTY LINE DEDUCT: Delete perforated metal screen and supporting DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL structure as shown on Drawing(s) 05/A2.1 and 03/A2.2, delete MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA accent lighting as shown on Drawing(s) 01/A2.4, 02/A2.4, 11/A5.2 ARE SUBJECT TO CORRECTION BY THE OFFICE OF THE SURVEYOR. A FULL BOUNDARY and 02/E1.4. SURVEY FOR THE TRACT LINES OF PARCEL 121/27 WAS NOT PERFORMED. DEDUCT ALT. #2 - ELEVATOR LOBBY UPGRADES HORIZONTAL DATUM FOR THIS SURVEY, INCLUDING COORDINATES AND BEARINGS THAT MAY BASE: Elevator finishes as shown on the drawings. BE SHOWN, IS REFERENCED TO THE GRID MERIDIAN ESTABLISHED IN THE MARYLAND DEDUCT: Delete exposed aggregate finish on concrete floor as COORDINATE SYSTEM NAD83(2011) AND OBTAINED FROM GPS SURVEY REFERENCED TO THE LEICA SMARTNET (RTK/RTN) NETWORK. shown in Drawing(s) 01/A3.1, 01/A3.2, 04/A5.2 and 05/A5.2 and substitute smooth trowel finish, delete suspended metal ceilings ELEVATIONS AND CONTOURS SHOWN HEREON ARE BASED IN THE NORTH AMERICAN DATUM as shown on Drawing(s) A4.1 and A4.2, provide substitute light OF 1988 (NAVD88) AS AS ESTABLISHED BY GPS SURVEY AND VERIFIED IN THE FIELD fixtures as shown on fixture schedule E0.0 and Drawing(s) A4.1 (WITH APPROPRIATE CONVERSIONS) TO DC BENCHMARKS AND OTHER ONSITE CONTROL BY DEDUCT ALT. #3 - SITE IMPROVEMENTS INDICATIONS OF UTILITY SERVICES SHOWN HEREON ARE BY ABOVE GROUND EVIDENCE BASE: All site work shown on the drawings. ONLY. NO UNDERGROUND DESIGNATION WAS PERFORMED FOR THIS SURVEY. PROVIDED DEDUCT: Provide only site work shown on the Drawing(s) PLANS WERE USED TO CONNECT SOME STORM AND SANITARY SEWER SYSTEMS. 01/CS3.1 and CS3.2. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MAY UNCOVER EASEMENTS OR OTHER RESTRICTIONS OF RECORD AFFECTING THE SUBJECT DEDUCT ALT. #4 - LANDSCAPE AND SITE FURNISHINGS BASE: All landscape work and site furnishings shown on the 160' PER RECORD, SEE TRANSFER OF JURISDICTION PLAT IN N 460.500 NO INFORMATION FOR AN ESTABLISHED RIGHT OF WAY FOR 1ST STREET ALONG THE SUBDIVISION BOOK 136 PAGE 54 DEDUCT: Provide only the landscape work and site furnishings WESTERN BOUNDARY WAS FOUND. shown on Drawing(s) 01/LP7.0 and LP7.1. EX. CONCRETE WALK THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" (1-800-257-7777) DEDUCT ALT. #5 - AUTOMATIC DOOR OPENING DEVICES AT LEAST FIVE 5 WORKING DAYS PRIOR TO STARTING ANY WORK. BASE: All automatic door opening devices shown on the drawings and hardware schedule. OBSTRUCTIONS SHOWN ON THIS DRAWING ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. KCI TECHNOLOGIES, INC. DOES NOT WARRANT OR GUARANTEE DEDUCT: Provide manual door closer as specified in Spec THE CORRECTNESS OR THE COMPLETENESS OF THE INFORMATION GIVEN. THE Section(s) 087100. Delete electrical feeds shown on Drawing(s) S 89°57'57" E CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION. 01/E2.1, 01/E2.4 and 02/E2.4. (p/o ĚAŚŢ 774.01'[×]LINĘ PER RECORD) EX. METAL FENCE IN THE EVENT THAT INFORMATION IS IN CONFLICT WITH INFORMATION OUTLINED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT PRIOR TO STARTING DEDUCT ALT. #6 - CARD READERS BASE: All card readers shown on the drawings and hardware 10. REMOVAL OF ANY SIDEWALK AND/OR CURB AND GUTTER SHALL BE TO THE NEAREST DEDUCT: Provide manual door locks/latches as specified in JOINT. NO PATCHING SHALL BE PERMITTED. Spec Section(s) 087100. Delete electrical feeds shown on Drawing(s) 02/E2.2, 01/E2.4 and 02/E3.2. 11. ADJUST TOP OF CURB GRADES TO SMOOTH TRANSITION. DEDUCT ALT. #7 - BARRIER CABLE SYSTEM 12. SAWCUT EXISTING PAVING AS NEEDED TO INSTALL NEW CONSTRUCTION. BASE: Barrier cable system as shown on the drawings. 13. STRIP AND RESURFACE EXISTING PAVING AS NEEDED TO PROVIDE SMOOTH DEDUCT: Delete barrier cables at exterior openings as shown (4) 5" SCH. 80 EXISTING TRANSITION TO EXISTING SURFACE. COMMUNICATION on Drawing(s) A2.1, A2.2 and 06/A2.4. DUCT BANK-EX. 27"RCP 14. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY DEDUCT ALT. #8 - CRASH BARRIER, BOLLARDS AND ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT **EXISTING MULTI-LEVEL** MATCH FINISH FLOOR ELEVATION PER ARCHITECTURAL SECURITY GATES SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH BIO POND PARKING STRUCTURE BASE: All crash barriers, bollards, and security gates shown on 327 PARKING SPACES DEDUCT: Delete all crash barriers, bollards, and security gates 15. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION shown on Drawing(s) 01/CS3.0, 04/LP7.1 and 05/LP7.1. FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL BE THE PROP. CONCRETE SIDEWALK DETAIL SHEET CS3.2 EX. INLET RESPONSIBILITY OF THE CONTRACTOR. DEDUCT ALT. #9 - SITE FENCING -CONSTRUCTION BASE: All site fencing shown on these drawings. SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS DEDUCT: Delete all site fencing shown on Drawing(s) 01/CS3.0 AND FIELD CONDITIONS, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS (4) 5" SCH. 80 EXISTING OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR GENERATOR ON PAD COMMUNICATION DEDUCT ALT. #10 - INTERIOR GARAGE BARRIER FENCING ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES. DUCT BANK — TRANSFORMER ON PAD BASE: All cable type barrier fencing shown on the drawings. 17. THE CONTRACTOR SHALL NOTE THAT IN CASE OF ANY DISCREPANCY BETWEEN DEDUCT: Provide chain link barrier fencing shown on Drawing(s) THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS THE FIGURED S2.1 and 06/S3.3. DIMENSIONS SHALL GOVERN. DEDUCT ALT. #11 - SECURITY CAMERAS 18. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL TIE-IN ELEVATIONS. BASE: Security cameras shown on the drawings. DEDUCT: Delete security cameras and appurtenances (conduit, 19. FILL IN STRUCTURAL AND PAVEMENT AREAS SHALL BE PLACED IN HORIZONTAL, EIGHT-INCH junction boxes, and power) shown on Drawing(s) E3.3, E3.4 and FISHER HOUSE EX. ASPHALT PARKING LOT MAXIMUM LOOSE LIFTS AND COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY PER ASTM D-1557. IN AREAS TO SUPPORT FLOOR SLABS 2-STORY BRICK AND PAVEMENTS THE UPPERMOST ONE FOOT (AFTER COMPACTION) SHALL BE COMPACTED DEDUCT ALT. #12 - LED LIGHTING TO 98 PERCENT OF THE MAXIMUM DRY DENSITY. THE MOISTURE CONTENT OF THE FILL SHALL BASE: LED lighting as shown on the drawings. BE PROPERLY CONTROLLED DURING PLACEMENT. IN BUILDING AREAS FILL SHALL EXTEND A MINIMUM OF 10 FEET BEYOND THE BUILDING LIMITS AND FILL SLOPES NO STEEPER THAN 2:1 DEDUCT: Provide substitute light fixtures as shown on fixture SHALL BE USED. SEE THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION. schedule E0.0 and as shown on Drawing(s) E1.4, E1.5 and E1.6. 20. ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST BALTIMORE DEDUCT ALT. #13- SECURITY BOOTH COUNTY STANDARD DETAILS AND SPECIFICATIONS AND ALL REVISIONS BASE: Security booth as shown on the drawings. THERETO, UNLESS OTHERWISE NOTED. DEDUCT: Delete security booth and appurtenances shown on EX.\NLET Drawing(s) A4.3, 02/E1.4, 03/E2.2 and 01/E2.3. 21. CONTRACTOR SHALL ADJUST ALL FRAMES, GRATES AND COVERS OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE CONTRACT TO THE PROPOSED DEDUCT ALT. #14 - PARKING TIERS GRADES, AS REQUIRED. BASE: 2-1/2 new tiers as shown on the drawings. 22. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE TO SWALES AND/OR DEDUCT: Delete 1/2 tier connecting ramp as shown on STORM DRAIN SYSTEMS AT ALL TIMES. Drawing(s) 02/A1.2, 02/A1.6, A2.1, A2.2, 01/S1.5, 02/M1.3, 02/P1.3, 03/FP1.3, 02/E1.6, 02/E2.4 and 02/E3.4. EX. INLET **LEGEND** EX. SURVEY CONTROL EX. SECURITY CAMERA EX. ROOF DRAIN EX. BOLLARD EX. SPRINKLER HEAD EX. BOLLARD LIGHT EX. SSMH EX. GROUND LIGHT CONC., C. & G. N 460,100 EX. FIRE HYDRANT EX. WATER MANHOLE EX. DROP INLET EX. CATCH BASIN EX. STORM MANHOLE EX. GUARD BUILDING EX. UTILITY POLE EX. LIGHT POLE EX. ELECTRIC MANHOLE EX. HANDHOLE EX. TELEPHONE PED EX. TRANSFORMER EX. ELEC BOX EX. POWER POLE EX. SEWER MANHOLE EX. WATER VALVE EX. DROP INLET EX. CATCH BASIN EX. STORM MANHOLE EX. LIGHT POLE TREE SYMBOLS (TYP.) 01 SITE, GRADING AND DRAINAGE PLAN SCALE: 1" = 30' ——— PROPERTY LINE --- E ----- E ---- EX. UNDERGROUND ELECTRIC PROP. WIRE & CABLE FENCE —— XX ——— XX —— PROP. FENCE PROP. SIDEWALK PROP. CURB & GUTTER **──** CF**──** CONSTRUCTION FENCE 1 inch = 30 ft.Project Title Project Number ARCHITECT/ENGINEERS: SEAL: CONSULTANTS: Office of SITE, GRADING AND DRAINAGE PLAN VA MEDICAL CENTER 688-345 **EXPAND VISITOR/PATIENT** Melville Thomas Architects, Inc. Construction **Building Number PARKING CONSULTANT COST ESTIMATOR** ARCHITECT PARKING GARAGE - PHASE 1 Melville Thomas Architects, Inc. Timothy Haahs & Associates, Inc. DMS Construction Consulting Services, Inc. ARCHITECTURE & PLANNING and Facilities 5550 Sterrett Place, Suite 300 600 Wyndhurst Avenue, Suite 315 550 Township Line Road, Suite 100 SCIENTISTS Blue Bell, PA 19422 Columbia, MD 21044 Baltimore, MD 21210 Drawing Number Approved: Project Director Location 100% Submission Management STRUCTURAL ENGINEER **MEP ENGINEER CIVIL ENGINEER** 50 IRVING ST. N.W. WASHINGTON, D.C. 936 Ridgebrook Road 95% Submission 8/28/14 Sparks, MD 21152 CS3.0 Timothy Haahs & Associates, Inc. DCS Infrastructure, Inc. KCI Technologies, Inc. PHONE: (410) 316-7800 65% Submission Checked 550 Township Line Road, Suite 100 3249 Route 112, Suite 1B 936 Ridgebrook Road Fax: (410) 316-7817 Department of Veterans Affairs 600 Wyndhurst Ave, Suite 315 Baltimore, MD 21210 TECHNOLOGIES 35% Submission Blue Bell, PA 19422 Medford, NY 11763 Sparks, MD 21152 www.kci.com C.T.B. 02/16/2015 R.L.B. T: 410.433.4400 F: 410.433.4719 Dwg. 05 of 89 www.mtarx.com VA FORM 08-623 4

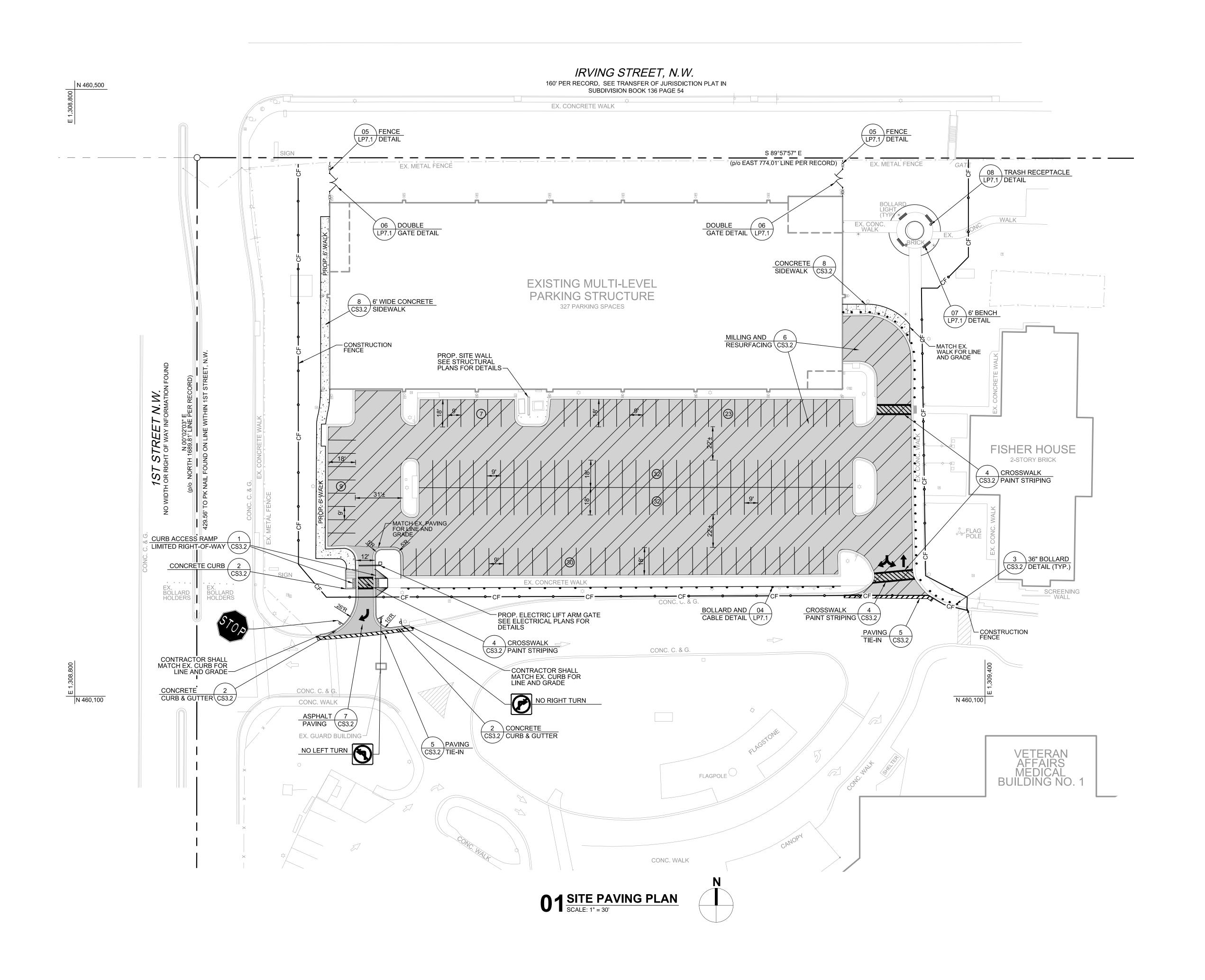
GENERAL NOTES

- 1. THE SITE SHOWN HEREON IS PART OF PARCEL 121/27 AS SHOWN ON ASSESSMENT AND TAXATION PLAT #3457-X RECORDED AMONG THE RECORDS OF OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA
- 2. BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL DISTRICT RECORDS AND VERIFIED IN THE FIELD IN SO FAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CORRECTION BY THE OFFICE OF THE SURVEYOR. A FULL BOUNDARY SURVEY FOR THE TRACT LINES OF PARCEL 121/27 WAS NOT

PERFORMED.

- 3. HORIZONTAL DATUM FOR THIS SURVEY, INCLUDING COORDINATES AND BEARINGS THAT MAY BE SHOWN, IS REFERENCED TO THE GRID MERIDIAN ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM NAD83(2011) AND OBTAINED FROM GPS SURVEY REFERENCED TO THE LEICA SMARTNET (RTK/RTN) NETWORK.
- 4. ELEVATIONS AND CONTOURS SHOWN HEREON ARE BASED IN THE NORTH AMERICAN DATUM OF 1988 (NAVD88) AS AS ESTABLISHED BY GPS SURVEY AND VERIFIED IN THE FIELD (WITH APPROPRIATE CONVERSIONS) TO DC BENCHMARKS AND OTHER ONSITE CONTROL BY OTHERS FOUND.
- 5. INDICATIONS OF UTILITY SERVICES SHOWN HEREON ARE BY ABOVE GROUND EVIDENCE ONLY. NO UNDERGROUND DESIGNATION WAS PERFORMED FOR THIS SURVEY. PROVIDED PLANS WERE USED TO CONNECT SOME STORM AND SANITARY SEWER SYSTEMS.
- 6. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MAY UNCOVER EASEMENTS OR OTHER RESTRICTIONS OF RECORD AFFECTING THE SUBJECT SITE.
- 7. NO INFORMATION FOR AN ESTABLISHED RIGHT OF WAY FOR 1ST STREET ALONG THE WESTERN BOUNDARY WAS FOUND.





DEDUCT ALTERNATES (ALT.)

and 02/E1.4.

DEDUCT ALT. #1 - PERFORATED METAL SCREEN WALLS BASE: Perforated metal screen with accent lighting as shown on DEDUCT: Delete perforated metal screen and supporting structure as shown on Drawing(s) 05/A2.1 and 03/A2.2, delete accent lighting as shown on Drawing(s) 01/A2.4, 02/A2.4, 11/A5.2

DEDUCT ALT. #2 - ELEVATOR LOBBY UPGRADES

BASE: Elevator finishes as shown on the drawings. DEDUCT: Delete exposed aggregate finish on concrete floor as shown in Drawing(s) 01/A3.1, 01/A3.2, 04/A5.2 and 05/A5.2 and substitute smooth trowel finish, delete suspended metal ceilings as shown on Drawing(s) A4.1 and A4.2, provide substitute light fixtures as shown on fixture schedule E0.0 and Drawing(s) A4.1

DEDUCT ALT. #3 - SITE IMPROVEMENTS BASE: All site work shown on the drawings.

DEDUCT: Provide only site work shown on the Drawing(s) 01/CS3.1 and CS3.2.

DEDUCT ALT. #4 - LANDSCAPE AND SITE FURNISHINGS BASE: All landscape work and site furnishings shown on the

DEDUCT: Provide only the landscape work and site furnishings

shown on Drawing(s) 01/LP7.0 and LP7.1. DEDUCT ALT. #5 - AUTOMATIC DOOR OPENING DEVICES BASE: All automatic door opening devices shown on the drawings and hardware schedule.

DEDUCT: Provide manual door closer as specified in Spec Section(s) 087100. Delete electrical feeds shown on Drawing(s) 01/E2.1, 01/E2.4 and 02/E2.4.

DEDUCT ALT. #6 - CARD READERS BASE: All card readers shown on the drawings and hardware DEDUCT: Provide manual door locks/latches as specified in Spec Section(s) 087100. Delete electrical feeds shown on

DEDUCT ALT. #7 - BARRIER CABLE SYSTEM

Drawing(s) 02/E2.2, 01/E2.4 and 02/E3.2.

BASE: Barrier cable system as shown on the drawings. DEDUCT: Delete barrier cables at exterior openings as shown on Drawing(s) A2.1, A2.2 and 06/A2.4.

DEDUCT ALT. #8 - CRASH BARRIER, BOLLARDS AND SECURITY GATES

BASE: All crash barriers, bollards, and security gates shown on DEDUCT: Delete all crash barriers, bollards, and security gates shown on Drawing(s) 01/CS3.0, 04/LP7.1 and 05/LP7.1.

DEDUCT ALT. #9 - SITE FENCING

BASE: All site fencing shown on these drawings. DEDUCT: Delete all site fencing shown on Drawing(s) 01/CS3.0 and 08/LP7.1

DEDUCT ALT. #10 - INTERIOR GARAGE BARRIER FENCING BASE: All cable type barrier fencing shown on the drawings. DEDUCT: Provide chain link barrier fencing shown on Drawing(s)

DEDUCT ALT. #11 - SECURITY CAMERAS BASE: Security cameras shown on the drawings.

S2.1 and 06/S3.3.

DEDUCT: Delete security cameras and appurtenances (conduit, junction boxes, and power) shown on Drawing(s) E3.3, E3.4 and

schedule E0.0 and as shown on Drawing(s) E1.4, E1.5 and E1.6.

BASE: LED lighting as shown on the drawings.

DEDUCT ALT. #12 - LED LIGHTING

DEDUCT ALT. #13- SECURITY BOOTH

DEDUCT: Provide substitute light fixtures as shown on fixture

BASE: Security booth as shown on the drawings. DEDUCT: Delete security booth and appurtenances shown on

Drawing(s) A4.3, 02/E1.4, 03/E2.2 and 01/E2.3. DEDUCT ALT. #14 - PARKING TIERS BASE: 2-1/2 new tiers as shown on the drawings.

DEDUCT: Delete 1/2 tier connecting ramp as shown on Drawing(s) 02/A1.2, 02/A1.6, A2.1, A2.2, 01/S1.5, 02/M1.3, 02/P1.3, 03/FP1.3, 02/E1.6, 02/E2.4 and 02/E3.4.

LEGEND EX. SURVEY CONTROL EX. SECURITY CAMERA EX. ROOF DRAIN EX. BOLLARD EX. SPRINKLER HEAD EX. BOLLARD LIGHT EX. GROUND LIGHT EX. FIRE HYDRANT EX. WATER MANHOLE EX. DROP INLET EX. CATCH BASIN EX. STORM MANHOLE EX. UTILITY POLE EX. LIGHT POLE EX. ELECTRIC MANHOLE EX. HANDHOLE EX. TELEPHONE PED EX. TRANSFORMER EX. ELEC BOX EX. POWER POLE EX. SEWER MANHOLE EX. WATER VALVE EX. DROP INLET EX. CATCH BASIN EX. STORM MANHOLE EX. LIGHT POLE

——— PROPERTY LINE PROP. WIRE & CABLE FENCE — XX — XX — PROP. FENCE PROP. SIDEWALK

PROP. CURB & GUTTER PAVING TIE-IN

0 PROP. SIGN APPROXIMATE LIMITS OF MILL AND OVERLAY

Project Number

Building Number

688-345

APPROXIMATE LIMITS OF PROPOSED PAVING

Office of Construction

Management Department of

and Facilities

VA FORM 08-623

100% Submission

95% Submission

65% Submission

35% Submission

GRAPHIC SCALE

1 inch = 30 ft.

CONSULTANTS: ARCHITECT

550 Township Line Road, Suite 100

Blue Bell, PA 19422

8/28/14

8/7/14

PARKING CONSULTANT Timothy Haahs & Associates, Inc. Melville Thomas Architects, Inc. 550 Township Line Road, Suite 100 600 Wyndhurst Avenue, Suite 315 Baltimore, MD 21210 Blue Bell, PA 19422 STRUCTURAL ENGINEER **MEP ENGINEER** Timothy Haahs & Associates, Inc. DCS Infrastructure, Inc.

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Medford, NY 11763

COST ESTIMATOR DMS Construction Consulting Services, Inc. 5550 Sterrett Place, Suite 300 Columbia, MD 21044 **CIVIL ENGINEER** KCI Technologies, Inc.

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Approved: Project Director

SITE PAVING PLAN

Drawing Title

PARKING GARAGE - PHASE 1 Location 50 IRVING ST. N.W. WASHINGTON, D.C. Checked

VA MEDICAL CENTER

EXPAND VISITOR/PATIENT

Project Title

Drawing Number **CS3.1** Dwg. 06 of 89

Department of Veterans Affairs